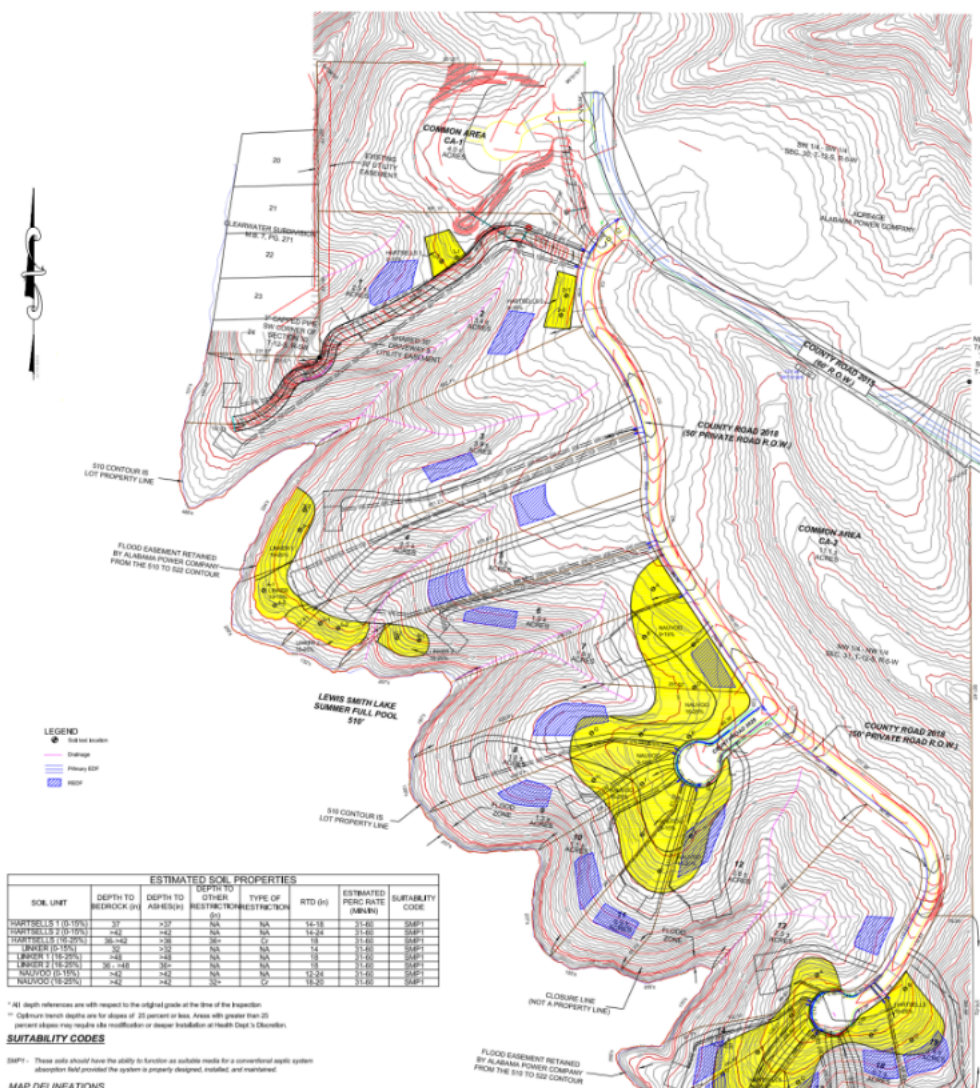




# ARCHERS POINT

S M I T H   L A K E

<u>Lot</u>	<u>Acreage</u>	<u>Price</u>
1	2.4	\$285,000
2	3.4	\$475,000
3	3.9	\$395,000
4	2.3	\$475,000
5	1.8	\$385,000
6	1.9	\$275,000
7	1.9	\$295,000
8	1.8	\$349,000
9	1.4	\$549,000
10	1.1	\$549,000
11	0.9	\$475,000
12	2.8	\$215,000
13	2.5	\$195,000
14	0.8	\$750,000
15	0.7	\$499,000
16	0.7	\$499,000
17	0.8	\$529,000
18	0.7	\$399,000
19	1.4	\$325,000

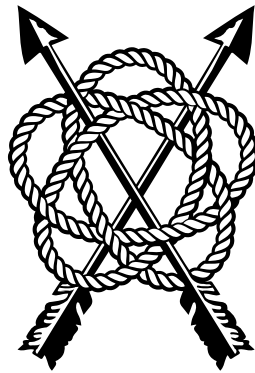


\* All depth references are with respect to the original grade at the time of the inspection.  
 \*\* Optimum trench depths are for slopes of 20 percent or less. Areas with greater than 20 percent slope may require the modification or deeper installation at Health Dept.'s discretion.

**SUITABILITY CODES**

SMP1 - These soils should have the ability to function as suitable media for a conventional septic system absorption field provided the system is properly designed, installed, and maintained.

**MAP DELINEATIONS**



# ARCHERS POINT

Overview of Standards and Restrictions

# *Overview of Standards and Restrictions*

These Rules and Regulations shall apply to the Archers Point development by LakeTown, and shall supplement the provisions of the *Design Standards* and the *Declaration of Covenants, Conditions, and Restrictions* (CCRs) for Archers Point. The Homeowners Association Board of Directors and/or the Architectural Review Committee (ARC) may alter, amend, delete, or change these Rules and Regulations at any time.

## **Section 1: General Design**

Homes at Archers Point shall be based on historical precedent through the mid 20th century. While interpretations may be made for modern living, exterior details consistent with a chosen style shall be readily identifiable. There shall be no invention of a new style of architecture, as has unfortunately been done far too often in the late 20th and early 21st centuries.

Architectural variety will give Archers Point its vitality; the whole will be greater than the sum of its parts. Tenets such as scale, proportion, balance, and rhythm will serve as vehicles for good design solutions.

Homes at Archers Point have two “fronts”; both the lakeside and streetside of the house must be designed as the front of the house.

No residence shall be less than 2,000 square feet heated and cooled, not including a basement (if any).

No residence shall be more than 2 stories above grade at the main level.

## **Section 2: Architects**

All homes at Archers Point must be designed by a licensed architect, who must apply to the ARC to be considered an approved architect. Pre-made or online plans are not allowed, except those as listed in the *Design Standards*.

## **Section 3: ARC Process**

All home designs and any other lot improvements must be approved by the ARC prior to any work commencing, including clearing of a lot. Refer to the *Design Standards* for more detailed information regarding the submittal and approval process.

## **Section 4: Setbacks**

Structures shall be located no closer than 5 feet to the 522' MSL (Mean Sea Level), no closer than 20 feet to the front property line, and no closer than 15 feet to the side property lines.

## **Section 5: Allowable Architecture/Composition**

Homes at Archers Point should be designed and situated to take advantage of views and daylighting opportunities present at each site. Wide and deep porches, along with ample windows, should be used, along with thoughtful solutions that are uniquely designed for the lot on which a house occurs.

Styles most prevalent on Smith Lake and across the south include Cottage, Craftsman, Adirondack, Shingle, and Farmhouse. However, other styles will be considered as long as the designs are historically accurate, contain details true to the style, and are appropriate for a lake location.



**Section 6: Roofing**

Roofing shall be wood shingles, standing seam metal, corrugated metal, or architectural asphalt shingles equal to GAF Timberline UHDZ.

Overly complicated roof designs are to be avoided.

When gutters are downspouts are used, they must be half-round gutters with round downspouts.

Nested gables are not allowed, nor are boxed-in or “pork chop” roof eaves.

**Section 7: Exterior Materials**

Materials used shall be true to the style of the house, and shall be durable materials to last for many years. Natural materials are encouraged, and faux materials (e.g. fake brick) are prohibited except for manufactured stone equal to or greater than Horizon Stone “19th Century Stone”, in colors and/or with mortar application to be approved at the discretion of the ARC.

Walls shall be clad in wood shingles, wood lap siding, wood board-and-batten siding, natural stone, brick, or composite siding (i.e. Hardie siding).

When composite siding is used, it shall be smooth in texture. Vinyl siding is not allowed, nor is metal siding.

There shall be no more than one masonry product used on any home.

**Section 8: Windows**

Only wood or aluminum-clad wood windows shall be used. Vinyl and fiberglass windows will also be allowed but only if Pella 250 Series, Sierra Pacific 8000 Series, or Marvin Essential Series. No other vinyl or fiberglass products will be considered.

Windows must have true divided lite or simulated divided lite panes; no between-the-glass grilles will be allowed, nor will windows with no grilles.

**Section 9: Garages**

Garages must be side loading so that the doors do not face the street nor the lake.

**Section 10: Accessory Structures**

Design of accessory structures shall mimic or complement the primary structure (i.e. the main house) with regards to materials, detailing, colors, composition, etc.

**Section 11: Driveways**

Pea gravel, asphalt, or AKG drives and parking courts are allowed. Concrete drives and courts are also allowed, but must have an integral dark pigment.

**Section 12: Docks/Boathouses and Bank Stabilization**

All docks/boathouses, whether prefabricated or not, are required to be submitted to the ARC for approval. Care should be taken to provide a design that is complementary to the house design. All proposed bank stabilization or similar shoreline improvements must also be submitted to the ARC for approval, as well as to Alabama Power Company Shorelines Management. Seawalls for bank stabilization may be cast-in-place concrete, timber, boulders, or rip rap.

**Section 13: Pre-Made Design Plans**

Pre-made home designs may only be chosen from the pre-approved home design options listed in the *Design Standards*.

**Section 14: Exterior Lighting**

To control light pollution, floodlighting is not allowed. Only minimal pathway lighting and decorative sconce lighting is allowed, and must be approved by the ARC.

**Section 15: Fences**

Fencing is only allowed on the side of a home unless it is designed to create a small courtyard that has been approved by the ARC, or is otherwise approved by the ARC on a case by case basis. Design must not have a suburban aesthetic. Aluminum, vinyl, and PVC fences are not allowed.

**Section 16: Tree Clearing**

No tree clearing may be done without approval by the ARC. Unapproved tree clearing will result in the requirement of mature trees to be planted on the lot at the discretion of the ARC.

**Section 17: Trees**

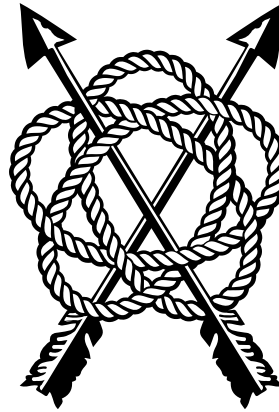
Each property owner shall be required to plant a minimum of 1 shade tree per 30' of water frontage, with a maximum of 12 shade trees required.

**Section 18: Timeline to Build**

Home construction must commence within 36 months of closing on a lot purchase.

*\* This list is only to be used as a quick reference guide. Please refer back to the Archers Point Design Standards and CCRs for more information.*

*\* The ARC reserves the right to approve or reject on a case-by-case basis.*



# ARCHERS POINT

Design Standards

# Archers Point Design Standards

This document serves as the Design Standards (or “design code”) for Archer’s Point, a development on Smith Lake near Cullman, Alabama. It is to be used by architects, designers, and builders as they create single-family residences (and/or accessory structures) within the development.

## Disclaimer:

The Archers Point Design Standards have been adopted by LakeTown for use as general guidelines for development and construction within Archers Point. Compliance and adherence to these Design Standards shall not relieve the lot owner, architect, designer, nor builder from compliance with all applicable building codes.

This document is subject to change from time to time as deemed necessary or appropriate by the developer and/or the Architectural Review Committee. It is the responsibility of anyone using the Design Standards to use the most up-to-date information available. If there are any questions about whether one is using the most up-to-date version of the Design Standards, please contact the HOA for confirmation.

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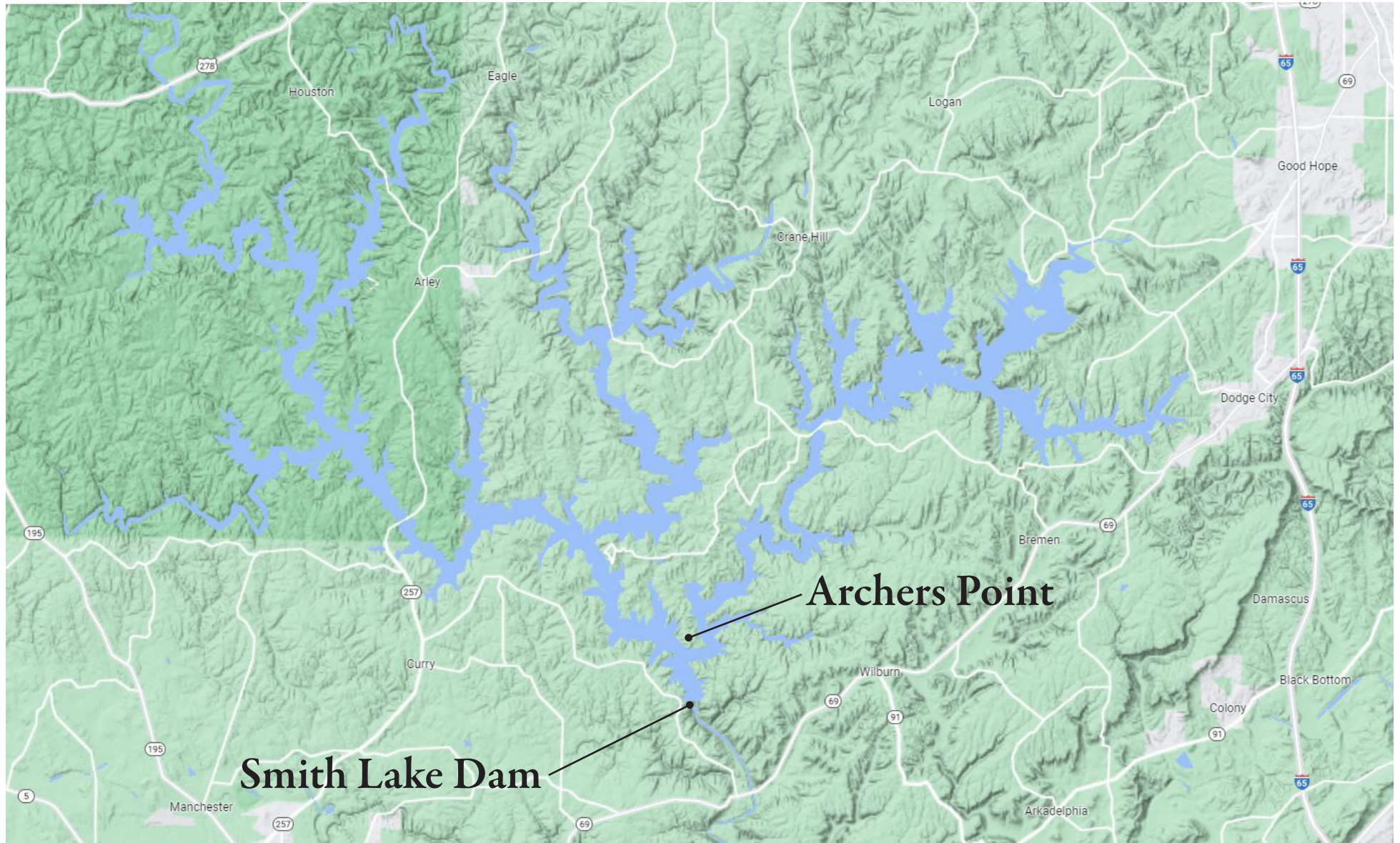
# Section 1

## Orientation to Archers Point





# Location On The Lake





# How To Use These Design Standards

Welcome to Archers Point on beautiful Smith Lake. The following is a step-by-step guide for using these Design Standards while designing and/or constructing all improvements on your property.

## **Step 1: Hire an Architect and become familiar with the Design Standards.**

All homes in Archers Point must be designed by licensed architects. All such architects shall apply for approval from the ARC unless they are on the Pre-approved Architects List. The Architect should thoroughly read through the Design Standards, becoming familiar with the terminology and with all relevant restrictions and/or design opportunities presented therein.

## **Step 2: Determine the setbacks and other restrictions for your lot.**

Each lot at Archers Point is unique in shape and in topography. Setback information is found within these Design Standards and will be a factor in determining where the house, accessory structures, and/or parking areas may be located. It is required that a topographical survey be performed prior to design work commencing.

## **Step 3: Pre-Design Meeting.**

The Architect shall schedule a pre-design online video conference with the ARC *prior* to any design work beginning. If using a pre-approved home design, please have the design identified so that it can be discussed at this time.

## **Step 4: Design a house and its landscaping according to the Design Standards.**

These Design Standards shall be used as a guide for designing all components of construction on your lot, including the main house, landscaping, hardscaping, seawall, dock/boathouse, and any accessory structures that may be constructed or otherwise placed on the property.

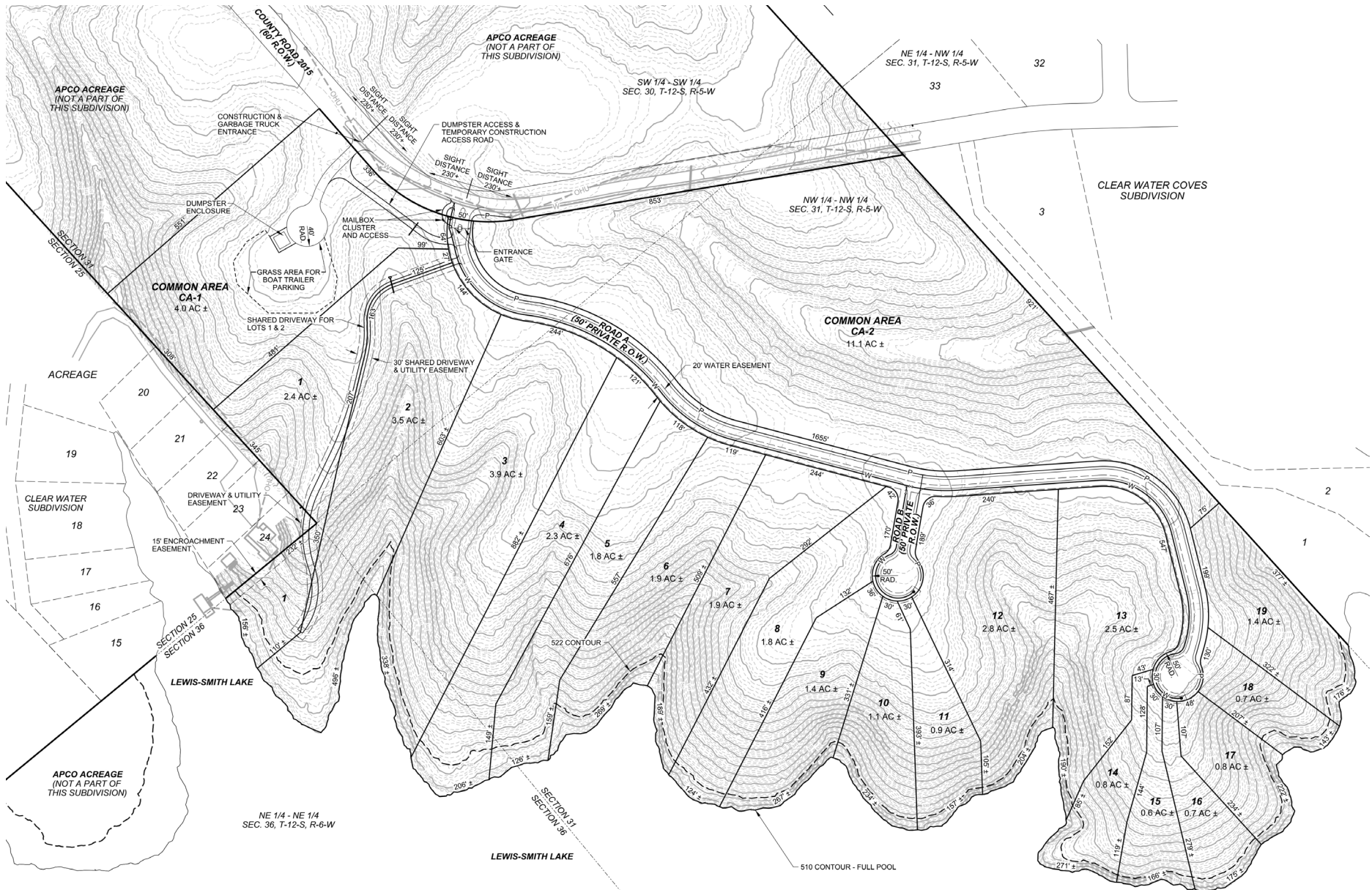
## **Step 5: Submit your design for review and approval.**

The Architect shall handle all submittals for design review according to the submittal process outlined in these Design Standards. No construction work may commence, including clearing of the lot, until approval is obtained from the ARC.

## **Step 6: Build your new house.**

Upon receiving design approval, construction may proceed on all approved components of design.

# Master Plan



\* Note: final Master Plan is subject to deviations from what is shown above.

# Setbacks

## Street (Front Yard) Setback

The minimum clear distance from the street property line to any structures, parking courts, or hardscaping (aside from the driveway) shall be 20 feet.

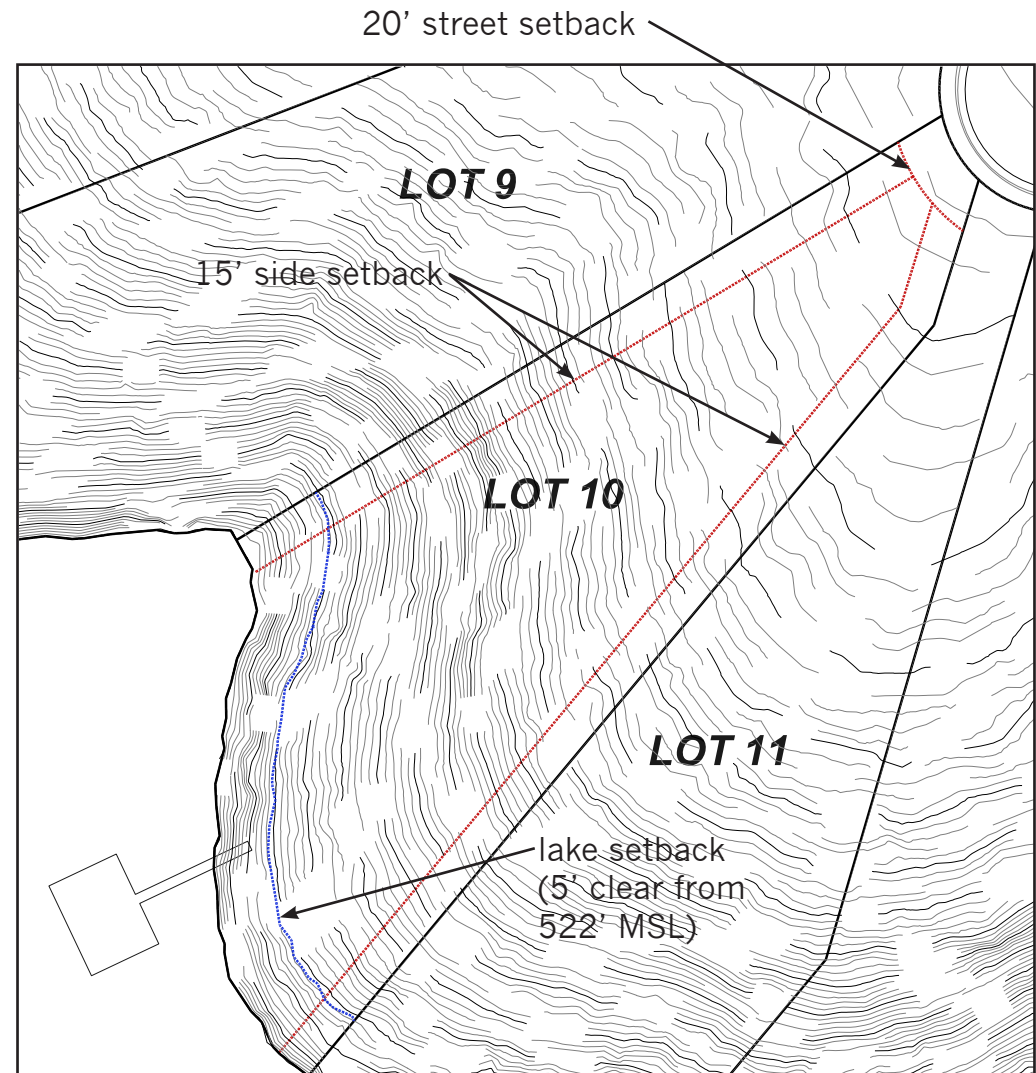
## Side Yard Setback

The minimum clear distance from the side property line(s) to any structures, parking courts, or hardscaping shall be 15 feet. No part of this setback may be cleared or grubbed.

## Lake (Rear Yard) Setback

The minimum clear distance from 522' MSL (mean sea level) to any structures or parking courts shall be 5 feet. No part of this setback may be cleared or grubbed. However, underbrush clearing (plant or tree material less than 3" diameter caliper) may occur with the approval of the ARC. Please follow Alabama Power Shorelines guidelines for any improvements located within the flood easement (510' to 522' MSL). Refer to the Alabama Power Company Shorelines Management website for permitting instructions.

<https://apcshorelines.com/permits>





# Section 2

## Architecture Standards



## Snapshot/Preview of ARC Process

The below information is meant to provide a brief synopsis of the ARC submittal and approval process, as well as general information found elsewhere in the Design Standards. This is in no way meant to be all-encompassing, and lot owners and their designers should reference these Design Standards in its entirety, along with the Covenants, Conditions, and Restrictions (CCRs) for Archers Point; this is merely meant to serve as a convenient 1-page reference for designing at Archers Point.

- A pre-design meeting with the ARC is required prior to beginning design activities. This pre-design meeting will be conducted via an online video conference, and the Architect must be present.
- Submittals must be handled in strict accordance with the detailed process outlined in these Design Standards.
- All submittals must be handled through the online ARC portal, which is managed by the HOA.
- To avoid re-work/corrections during construction, all ARC review redlines are to be executed in the build-out unless an exception is issued with clear written approval.
- Over-clearing outside of the approved clearing limits will result in a requirement to plant back trees as determined by the ARC.
- The ARC has 45 days to complete the ARC review. Incomplete submittal packages will not be reviewed until they are complete.
- Submittals are subject to additional review fees if submitted separately or if such submittal requires ongoing ARC reviews and communications.
- The ARC exercises the right to adjust directions as needed from one house to the next depending on circumstances and on a case-by-case basis.
- As homes are built, the ARC learns of changes that need to be implemented on future designs for the betterment of the community. Do not assume that just because something was approved on one home that it will be approved on a subsequent home.

## **Guiding Design Principle:**

*Homes at Archers Point shall be based on historical precedent through the mid 20th century. While interpretations may be made for modern living, exterior details consistent with a chosen style shall be readily identifiable. There shall be no mash-up of styles and there shall be no invention of a new style of architecture, as has unfortunately been done far too often in the late 20th and early 21st centuries.*

*Architectural variety will give Archers Point its vitality; the whole will be greater than the sum of its parts. Tenets such as scale, proportion, balance, and rhythm will serve as vehicles for good design solutions.*

## **General Information**

These Design Standards refer to components of design such as materials, doors, windows, chimneys, massing, site, and landscaping, among others. While it does provide some restrictions and some prohibited design elements, it is meant to also encourage Architects to develop thoughtful solutions that are uniquely designed for the lot on which a house is located.

To assist Architects and Owners by providing examples of good design, several photos are included in these Design Standards to provide architectural inspiration.

It should also be noted that the ARC, O'Kelley Architecture, and Paul Lell Landscape Architect may be resources to assist in the interpretations of these guidelines. O'Kelley Architecture and Paul Lell Landscape Architect may also be engaged for professional design services if desired.

## **Massing and Composition**

Homes at Archers Point should be designed and situated to take advantage of views and daylighting opportunities present at each site. Wide and deep porches, along with ample windows, should be utilized whenever possible.

Houses should be no taller than 2 stories at the street side of the house. For a basement house, this would result in a 3 story tall house at the lake side of the house.

Over-complication of roof forms, bumpouts, and angle changes are discouraged. Instead, the ARC wishes to see well-designed houses that lean towards simpler geometry with thoughtful detailing and proper proportions. It is in fact easy to sometimes over-design a house, when often it is a collection of simple forms and proper massing that works best.



## **Selective Clearing and Preservation**

Existing trees shall be protected during construction with proper measures taken to ensure health, including root and canopy pruning.

Removal of any existing vegetation should be minimized and considered only after extensive analysis and evaluation. Removal of any trees 4" caliper and over requires permission from ARC.

Any clearing shall be approved by the ARC Staff prior to the activity. See Trees section on required tree planting.

## **Driveways, Aprons, and Parking Courts**

Driveway widths can range between 10' and 12' with a 4'-6' horizontal clear zone (either side) for landscape elements, that includes, but is not limited to: trees, walls, and fences. Hardscape material changes should be limited.

Approved driveway/parking court paving materials:

- Asphalt
- Integral colored (dark) concrete (acid etched and/or stamped concrete is not allowed)
- Natural stone
- Crushed pea gravel/limestone fines
- Exposed aggregate concrete
- Wood timbers
- GrassPave porous paver system

## **Roofs, Eaves, and Dormers**

Roofing is often the most dominant feature of a house and should be designed with care. The massing of a house should directly be related to the roof above. It is strongly encouraged to design roofs that are not overly complicated in shape nor form. Nested gables are not allowed.

Primary roof slopes shall be a minimum of 4:12 and a maximum of 10:12. Roofs with lower slopes at porches, connectors/breezeways, or other similar components may be approved by the ARC.

Allowable roofing materials include wood shingles, standing seam metal, 2" or 2.5" corrugated metal, or architectural asphalt shingles equal to or better than GAF Timberline UHDZ. All metal roofs must be prefinished and shall not be reflective.

Where gutters are used, they must be half-round metal gutters with round downspouts of the same material.

When exposed rafter tails are used, they shall have a minimum size of 2x8, spaced at 16" to 24" on center. All eaves, rafters, and associated trim shall be stained or painted.

Dormers are highly encouraged, and can provide daylighting for upper floors of 2 story homes. Dormers may be hipped, gabled, shed, or eyebrow.

Flat skylights and bubble skylights are prohibited. "Pork chop" eaves are also prohibited.

## **Porches, Balconies, and Decks**

Porches must be integral to the overall design and not merely an afterthought.

Porches may not be converted to conditioned space at any time, whether during or after construction.

If a porch is screened, such screening cannot cover or run in front of the porch structure. It should instead be set within wood frames that are attached to the porch structure. Screens must be dark in color, and non-reflective.

Porch or deck foundations should be treated as part of the architecture, with stone or horizontal wood planking at the undercrofting.

Railings shall be wood, with pickets or balusters spaced with no more than a 4" clear opening. Creativity in railing design is encouraged as long as it is in keeping with the architectural style of the house.

Slab-on-grade stoops or porches shall be covered with pavers.

## Foundations

Permitted foundation techniques include pier foundations, crawl space wall foundations, and concrete slab-on-grade foundations.

The first floor of all houses must be raised a minimum of 12 inches above the surrounding grade, except that the grade at entrance doors may be adjusted to provide fewer steps if desired.

If pier foundations or crawl space wall foundations are used, all exposed surfaces shall be covered with stone veneer. If concrete slabs are utilized, any exposed vertical concrete shall be covered with stone veneer. In no case shall concrete block nor poured concrete be visible outside of the house.

When pier foundations are used, the resulting crawl space between piers must be screened with wood slats or boards. Diagonal lattice screening is prohibited.

Changes in height elevation of siding-to-foundation material transitions (i.e. step-downs) shall not occur except at inside corners and shall not deviate from what is approved on the submitted drawings.

## Materials and Applications

Materials used shall be true to the style of the house, and shall be durable materials to last for many years. Natural materials are encouraged, and faux materials (e.g. fake brick) are prohibited except for manufactured stone equal to or greater than Horizon Stone "19th Century Stone", in colors and/or with mortar application to be approved at the discretion of the ARC.

Walls shall be clad in wood shingles, wood lap siding, wood board-and-batten siding, composite siding (i.e. Hardie siding), natural stone, or brick. When composite siding is used, it shall be smooth in texture. Only one masonry type (stone or brick) shall be used.

Roofing shall be wood shingles, standing seam metal, corrugated metal, or architectural asphalt shingles equal to or better than GAF Timberline UHDZ.

Windows shall be wood or aluminum-clad with traditional muntin (grille) patterns. Vinyl and fiberglass windows will also be allowed but only if Pella 250 Series, Sierra Pacific 8000 Series, or Marvin Essential Series. No other vinyl or fiberglass products will be considered.

Columns shall not be less than nominal 6"x6".

Porch ceilings shall be tongue-and-groove wood planks, bead boards, or butt-jointed wood planks.

Eaves shall have tongue-and-groove decking or wood board deck; plywood or roof sheathing shall not be visible.

Foundations shall be stone or brick.

Chimneys shall be stone, brick, or stucco; no siding.

## Doors and Windows

Doors and windows should be honest and accurate reflections of a house's architectural style.

All front entrance doors must be rectangular in shape and shall be constructed of solid wood with a stain or paint finish. Other exterior doors shall also be constructed of solid wood, though aluminum cladding on the exterior surface is permitted.

Transom windows are permitted, but must be rectangular in shape.

Stained glass, etched glass, and art glass are all prohibited for use on doors and windows.

If screen doors are used, they shall be stained or painted solid wood and shall be included in the drawings to be reviewed by the ARC.

Windows should be appropriately scaled for each application, and should match the style of the house's exterior design. Only wood or aluminum-clad wood windows shall be used. Vinyl and fiberglass windows will also be allowed but only if Pella 250 Series, Sierra Pacific 8000 Series, or Marvin Essential Series. No other vinyl or fiberglass products will be considered.

Windows must have true divided lite or simulated divided lite panes; no between-the-glass grilles will be allowed, nor will windows with no grilles. Panes shall have a vertical proportion.

## Details

Details and ornamentation used solely for decoration shall generally be minimized. Instead, Architects should explore more expressive forms of features such as columns, rafter tails, railings, brackets, shutters, chimneys, and light fixtures.

Shutters, when used, shall be sized to match the window opening they serve and shall be equipped with operable hardware. Shutters must be constructed of wood, and the style should correlate to the style of the house being designed.

Horizontal transition trim shall be installed between siding and the foundation/base. Such trim shall be continuous, and if corner boards are used for the siding, such corner boards shall stop at the top of the transition trim.

If awnings are used over doors not otherwise sheltered by a porch or overhang, such awnings must be constructed of materials such as wood and metal to match the house.

Primary facades shall have at least one decorative light fixture at or near the entrance. All exterior light fixtures, whether at front entrance or elsewhere, must be submitted for ARC approval.

Exterior floodlighting is prohibited. Archers Point is designed to be a community in which light pollution does not occur and in which a dark night sky is readily evident to residents.

## Structures, Garages, and Satellite Dishes

Accessory structures (or secondary structures) should be considered with the overall design of each property. All architectural standards apply equally to all such accessory structures, and any such structure will be required to be submitted and reviewed by the ARC.

Design of accessory structures shall mimic or complement the primary structure (i.e. the main house) with regards to materials, detailing, colors, composition, etc, and the massing shall be significantly smaller than the main house.

Garages shall be rectangular in plan, with a maximum size of 26 feet x 26 feet. Three-car garages are prohibited. Garages shall be no more than 2 stories tall, with at least one window or door on each of the four sides. Garage doors shall be a maximum of 9 feet wide and a maximum of 9 feet tall. Garages must be side loading so that the doors do not face the street nor the lake.

No structures such as a doghouse, tent, shack, treehouse, clothesline, trailer, antenna, playground equipment, etc shall be placed on or erected on any lot which is visible from the street or lake. No satellite dishes two (2) feet in diameter or larger are allowed at any time. Satellite dishes less than two (2) feet in diameter will be allowed on the lot only with express written approval from the ARC. Location of such satellite dish will be subject to review by the ARC.

## Docks/Boathouses and Bank Stabilization

All docks/boathouses and bank stabilization must be in accordance with Alabama Power Company Shorelines requirements, and submitted for permit/approval by any and all governing authorities with jurisdiction over Smith Lake. Refer to the Alabama Power Company Shorelines Management website for permitting instructions.

<https://apcshorelines.com/permits>

Docks/boathouses are an important component of lake living, and should be considered more than simply a means for storing boats. When designed properly, a boathouse can serve as an extension of the main house by providing additional outdoor living space near the water.

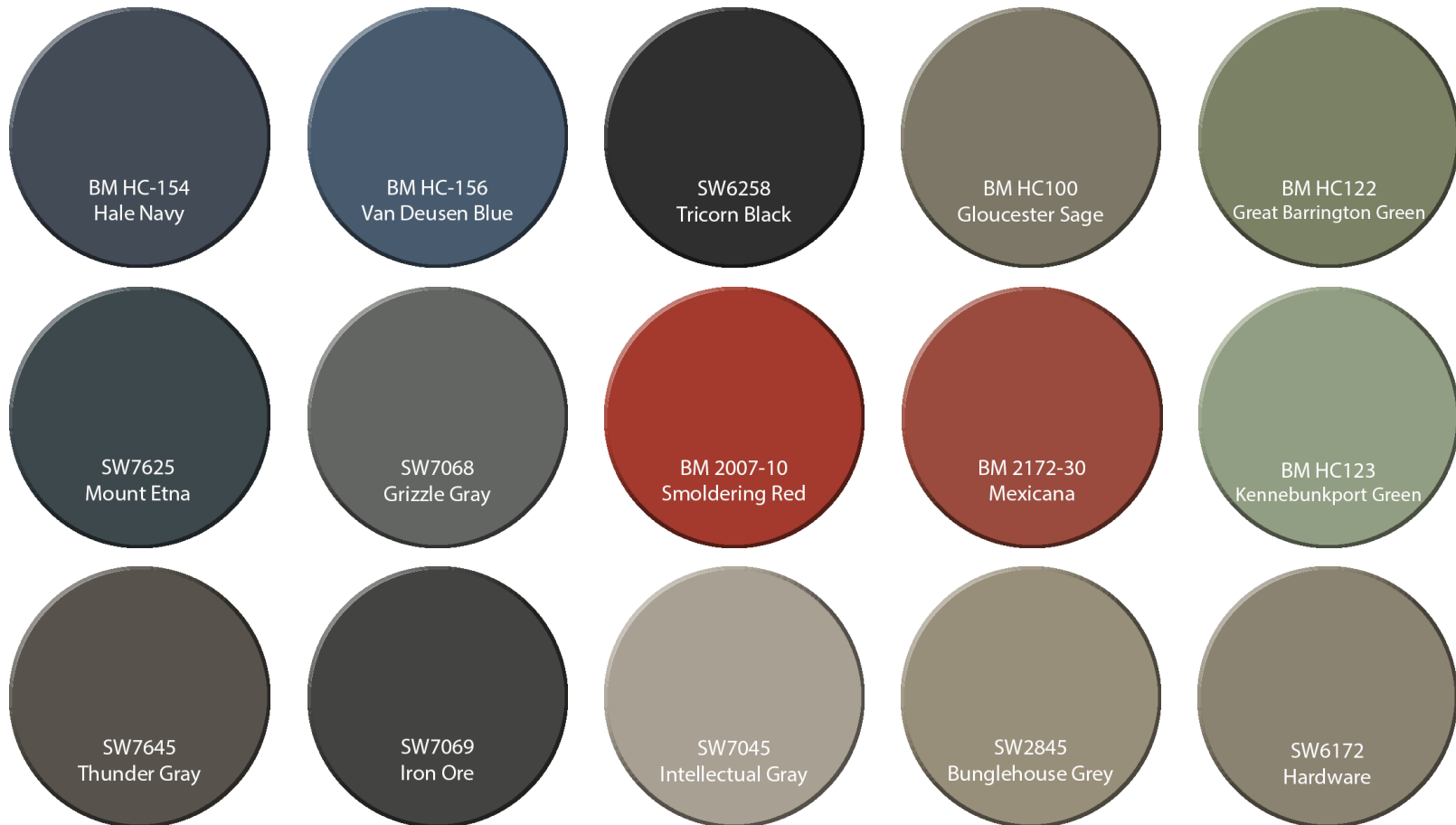
It is recognized that floating docks/boathouses are common at Smith Lake, with many owners using prefabricated docks/boathouses. However, all such docks/boathouses will be required to be submitted to the ARC for approval. Care should be taken to provide a design that is complementary to the house design.

Bank stabilization may be desired due to existing shoreline erosion, and in all cases must be submitted to the ARC for approval prior to any bank stabilization construction commencing. Bank stabilization may be cast-in-place concrete, timber, boulders, or rip rap.

## Colors

All exterior colors (and all exterior materials) must be approved by the ARC. Paint colors shall be carefully chosen in context with the roofing and stone colors being proposed. Do not assume that just because an existing home has been painted certain colors that those colors will be approved for future use. It should also be noted that the ARC reserves the right to reject colors that are too similar to those used on adjacent properties.

The color samples on this page are by Sherwin Williams and Benjamin Moore, and represent pre-approved color options for Archers Point. Other colors may be submitted for approval and will be reviewed on a case-by-case basis. Whether on this page or not, all proposed colors are subject to a mockup/sample review on site before final approval may be rendered by the ARC.



## Architecture to Provide Inspiration

The Archers Point ARC does not wish to limit architectural styles, and instead encourages a creative approach for each individual home. Styles most prevalent on lakes in Alabama and across the south include Cottage, Craftsman, Adirondack, Shingle, and Farmhouse. However, other styles will be considered as long as the designs are historically accurate, contain details true to the style, and are appropriate for a lake location.

Native, vernacular materials are highly encouraged, as are home designs that tend to integrate seamlessly with the landscaping.

The images on the following pages are meant to provide inspiration or examples of good design, and are not meant to be strict references of what must be designed for Archers Point.





























## Pre-Approved Home Design Options

It is required that all lot owners at Archers Point engage architects to design custom homes that are unique to their lot. However, the Developer and the ARC understand that from time to time there may be a desire to select an existing home design that can be used at Archers Point. Therefore, twelve (12) home designs from the Southern Living House Plans collection have been selected to be considered as the only pre-approved home designs to be allowed at Archers Point. Other existing home designs, whether from Southern Living or from a different source, will not be considered for approval.

Should an owner choose to use one of these pre-approved home designs, they will be required to purchase the home design directly from Southern Living. While these home designs are considered to be pre-approved, drawings shall still be submitted to the ARC for approval regarding exterior finishes, site planning, and landscape design. It should also be noted that no pre-approved home design will be allowed to be used more than once in Archers Point; therefore lot owners should verify with the ARC whether a particular design is already being used prior to purchasing a design. If modifications must be made to the design, whether by necessity to make it work with a particular lot or by owner's preference for a design change, all such design modifications must be approved by the ARC as part of the typical ARC review process and such design expenses shall be done at the owner's expense.

Pre-approved design options are listed below, and can be found at the following website:  
<https://houseplans.southernliving.com>

**Plan SL-1874 "Cypress Lake"**

5 bedrooms, 5 bathrooms  
5,312 square feet heated/cooled

**Plan SL-1386 "Bucktail Lodge"**

4 bedrooms, 3 bathrooms  
2,678 square feet heated/cooled

**Plan SL-333 "Lumbarton"**

3 bedrooms, 4 bathrooms  
2,914 square feet heated/cooled

**Plan SL-1618 "Mountain Laurel"**

4 bedrooms, 4 bathrooms  
3,413 square feet heated/cooled

**Plan SL-1375 "Tideland Haven"**

2 bedrooms, 2 bathrooms  
2,418 square feet heated/cooled

**Plan SL-063 "New Cooper's Bluff"**

3 bedrooms, 3 bathrooms  
2,824 square feet heated/cooled

**Plan SL-1871 "Fox Hill"**

4 bedrooms, 3 bathrooms  
4,361 square feet heated/cooled

**Plan SL-1959 "River Place Cottage"**

3 bedrooms, 2 bathrooms  
2,420 square feet heated/cooled

**Plan SL-1954 "Cedar River Farmhouse"**

4 bedrooms, 3 bathrooms  
3,711 square feet heated/cooled

**Plan SL-495 "Stone Glen"**

4 bedrooms, 3 bathrooms  
4,394 square feet heated/cooled

**Plan SL-1435 "Montford Cottage"**

4 bedrooms, 3 bathrooms  
2,892 square feet heated/cooled

**Plan SL-073 "Monet House"**

4 bedrooms, 4 bathrooms  
3,375 square feet heated/cooled

*\* Archers Point is not a Southern Living Community, nor affiliated in any way with Southern Living \**



## **Pre-Approved Architects**

Lot Owners are encouraged to hire an Architect who can navigate the responsibilities of the required design submittals and who understands the requirements of these Design Standards. Local and semi-local Architects that may be considered pre-approved for Archers Point are listed below.

Licensed Architects not on the list below may be submitted to the ARC for approval. Each submittal for approval must include a qualification package in pdf format containing a brief bio/resume and photographic examples of relevant projects. The ARC will review the submittal and either grant approval or deny approval.

### **Nequette Architecture and Design**

Birmingham, AL  
[www.nequette.com](http://www.nequette.com)

### **Paul Bates Architects**

Birmingham, AL  
[www.paulbatesarchitects.com](http://www.paulbatesarchitects.com)

### **Jeffrey Dungan Architects**

Birmingham, AL  
[www.jeffreydungan.com](http://www.jeffreydungan.com)

### **Gary Justiss Architecture**

Chelsea, AL  
[www.garyjustiss.com](http://www.garyjustiss.com)

### **Adams Gerndt Design Group**

Homewood, AL  
[www.adams-gerndt.com](http://www.adams-gerndt.com)

### **Tippett Sease Baker**

Montgomery, AL  
[www.tsbarchitecture.com](http://www.tsbarchitecture.com)

### **Long and Long Design**

Homewood, AL  
[www.longandlongdesign.com](http://www.longandlongdesign.com)

### **Pfeffer Torode**

Nashville, TN  
[www.pfeffertorode.com](http://www.pfeffertorode.com)

### **Bill Ingram Architect**

Atlanta, GA  
[www.billingramarchitect.com](http://www.billingramarchitect.com)

### **O'Kelley Architecture**

Birmingham, AL  
[www.okelleyarchitecture.com](http://www.okelleyarchitecture.com)

# Section 3

## Landscape Standards



## **Landscape Overview**

The desire of Archers Point is to achieve high quality home sites that are visually appealing and blend naturally with the surrounding environment. This design objective can be met through careful use of native plants and limiting large expanses of sod and mulch. It is recommended that plant selections be made with consideration of local conditions, micro-conditions, seasonal variety, hardiness, and environmental benefits. Maintaining native planting can provide significant character and other benefits to a site planting plan, as well as minimize impact from disturbed soils. Careful plant selection and installation procedures shall be used for vegetation selected to stabilize disturbed areas, drainage areas and swales. Upon completion of construction, the site must be fully stabilized.

## **Planting and Design Recommendations**

Preserving existing vegetation and strategic use of supplemental planting can highlight site and building features, minimize unsightly views and ground structures to the landscape.

Planting design shall be used to transition the landscape from built elements to natural environment. A variety of plant characteristics, including size, height, form, texture, color and spacing, coupled with utilizing a combination of evergreen and deciduous species that help achieve year round interest is recommended.

## **Landscape Buffer**

There shall be a 5 foot minimum landscape buffer above the 522 MSL where no sod or chemically treated landscape planting beds are allowed. No sod or chemically treated landscape beds are allowed below the 522 MSL. Any landscape or hardscape improvements between the 522 MSL and the 510 MSL are subject to approval from Alabama Power Shoreline Management.

## **Selective Clearing and Preservation**

Existing trees shall be protected during construction with proper measures taken to ensure health, including root and canopy pruning.

Removal of any existing vegetation should be minimized and considered only after extensive analysis and evaluation. Removal of any trees 4" caliper and over requires permission from ARC.

Any clearing shall be approved by the ARC Staff prior to the activity. See Trees section on required tree planting.

## **Landscape Irrigation**

The use of a permanent irrigation system is not required, but highly recommended. Irrigation systems are to be below ground, fully automated and include a back-flow preventer in accordance with local codes.

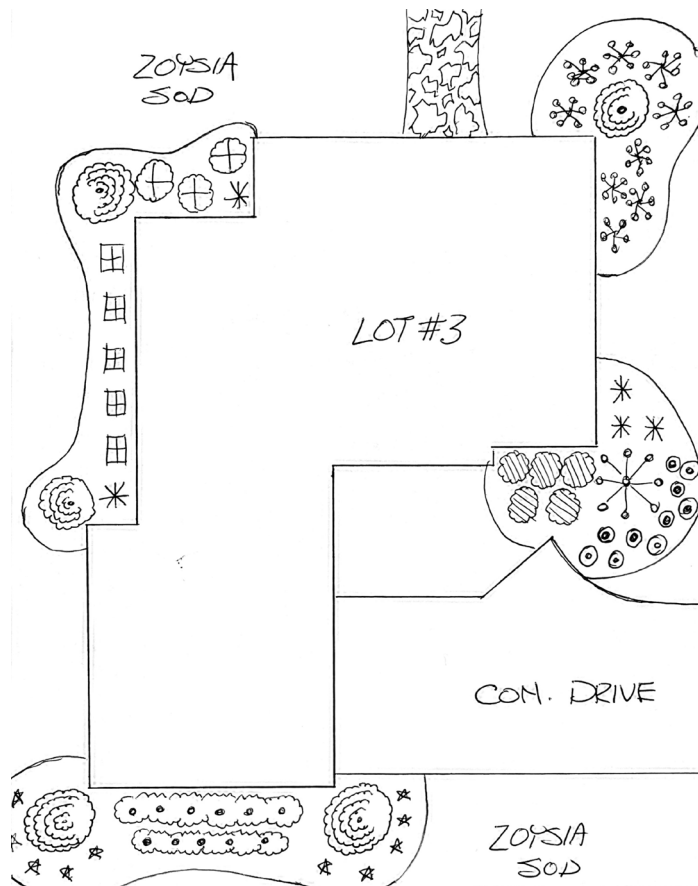
## Landscape Plan Submittal

Proposed landscape plans shall be neatly drawn, to scale, with all plant material and sizes clearly labeled. Poorly drawn plans or “napkin” sketches will not be reviewed. A Landscape Plan prepared by a licensed Landscape Architect or certified Landscape Designer must show and label the location, species and sizes of all proposed plant material (i.e. trees, shrubs, groundcovers, sod). The Landscape Plan shall be provided for ARC review, drawn at 1"=10' scale or larger, and shall include at a minimum:

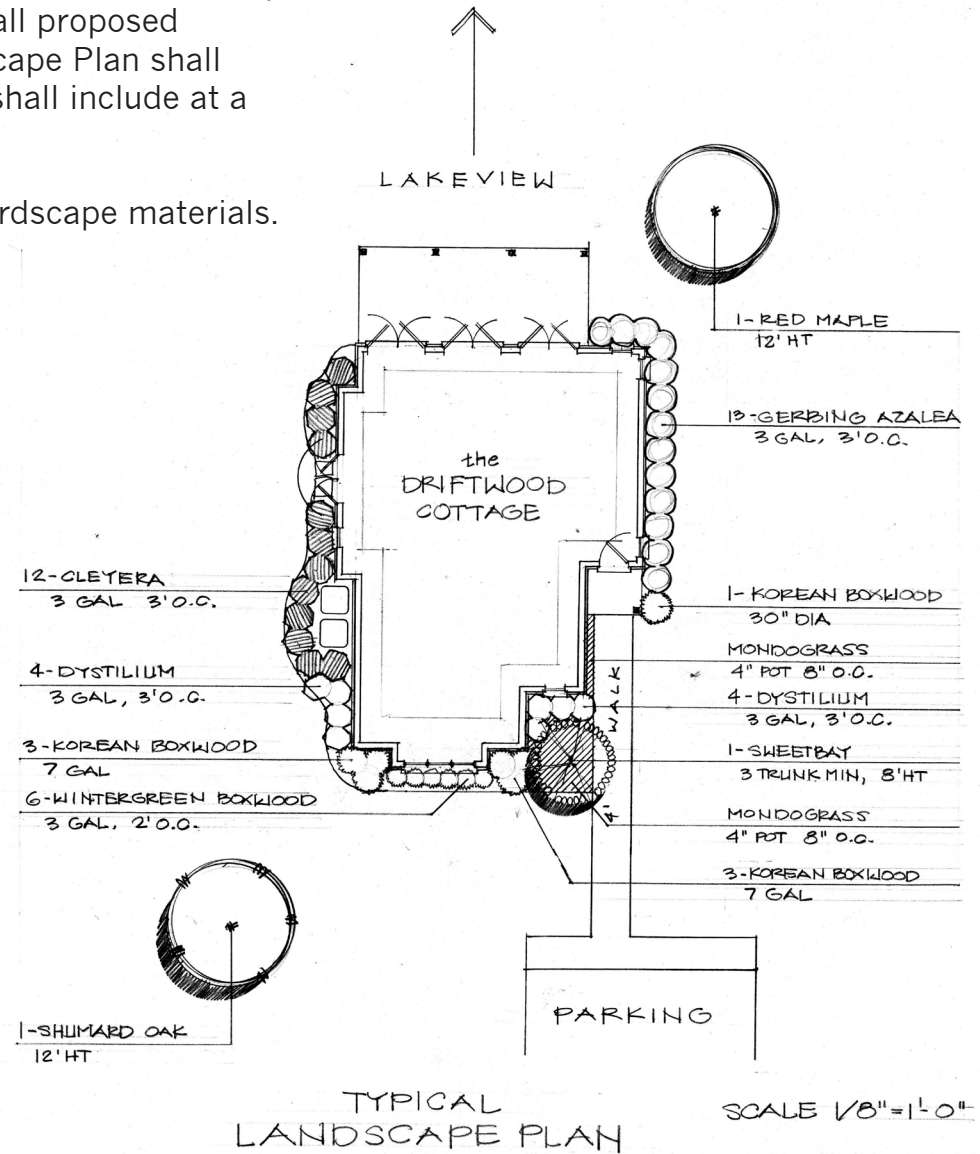
Location of existing trees and vegetation to be saved.

Variety, size, location, and quantity of all proposed landscape/hardscape materials.

Type and limits of sitted areas..



**Example of an insufficient landscape plan**



**Example of the minimum level of detail expected for a landscape plan**

## Plant Species

Native and indigenous plant material should be used wherever possible. Plant material that is on the state's invasive list is prohibited. All plant material shall be supplied from a certified nursery/grower and shall conform to all quality requirements as defined in the current issue of "*American Standards for Nursery Stock*".

### Trees

Each Property Owner shall be required to plant a minimum of (1) Shade Tree per (30') of property shoreline, with a maximum total of (12) Shade Trees required. For example: if a lot has (210') of shoreline, a minimum of (7) Shade Trees will be required. Shade Trees shall be a minimum 3-inch caliper (B&B root ball), recommended shade trees: Oak (*Quercus* sp.), Red Maple (*Acer* sp.), Beech (*Fagus* sp.), Blackgum (*Nyssa* sp.), Bald Cypress (*Taxodium* sp.).

Understory/Ornamental Trees shall be a minimum of 8-10 foot height at time of installation, recommended understory trees: Serviceberry (*Amelanchier* sp.), River Birch (*Betula* sp.), Dogwood (*Cornus* sp.), Fringe Tree (*Chionanthus* sp.), Vitex (*Vitex* sp.).

Evergreen Trees shall be a minimum of 6-8 foot height at time of installation, recommended evergreen trees: Cedar (*Cedrus* sp.), Cryptomeria (*Cryptomeria* sp.), Holly (*Ilex* sp.), Magnolia (*Magnolia* sp.), Tea Olive (*Osmanthus* sp.), Arborvitae (*Thuja* sp.).

### Shrubs and Groundcovers

All primary foundation shrubs must be a minimum size of three gallon. Sample shrub palette: Azalea, Hydrangea, Boxwood, Camellia, Dystilium, Sweetspire, Anise, Ornamental Grasses (Muhly grass, Miscanthus grass, etc.).

Foundation plantings are required to be at least one-third the height of the foundation at time of installation.

Groundcovers must be a minimum size of 4" cups and spaced no greater than 18" o.c.. Recommended groundcovers: Mondo Grass, Liriope, Asiatic Jasmine, Ferns (1 gallon min. size), etc.

## Grass and Mulch

Areas shown to be grassed shall utilize sod (as opposed to seeded or sprigged) to ensure proper soil stabilization.

Roadside rights-of-way disturbed during construction must be re-graded and re-grassed where grass pre-existed. Likewise, areas of nearby lots damaged during construction must be returned to their previous condition.

All disturbed areas due to grading and construction must be stabilized at the time of final landscaping.

Shredded or Mini-Nugget Pine Bark Mulch shall be used in planting beds. Pine straw is to be used in natural areas or where slope is too severe. *Rubber mulch and colored mulch are not acceptable to be used as a mulch in planting beds or natural areas.*

## Driveways, Aprons, and Parking Courts

Driveway widths can range between 10' and 12' with a 4'-6' horizontal clear zone (either side) for landscape elements, that includes, but is not limited to: trees, walls, and fences. Hardscape material changes should be limited.

Approved driveway/parking court paving materials:

- Asphalt
- Integral colored (dark) concrete (acid etched and/or stamped concrete is not allowed)
- Natural stone
- Crushed pea gravel/limestone fines
- Exposed aggregate concrete
- Wood timbers
- GrassPave porous paver system



## Courtyards, Paths, and Patios

Outdoor courtyards, terraces, patios, rooms, and spaces shall be treated and designed as natural extensions of the indoors. Outdoor areas are to be designed in response to architectural elements such as balconies, trellises, arcades, verandas and/or porches to establish a gradual transition from indoors to outdoors. Utilize materials that complement the architecture of the residence.

The following are approved materials (materials not on this list are subject to ARC Approval).

- Integral colored concrete
- Peacock/FireRock pavers
- Granite cobblestone, bluestone, flagstone/sandstone, and/or other native stone
- Pea gravel
- Limestone fines
- Reclaimed/molded brick
- Wood timbers

*Manufactured concrete pavers (i.e. Pavestone) and “DIY” paver kits are not allowable hardscape materials.*

## Fences, Gates, Walls, and Screens

Fences, gates, walls, and screens may be used to define public and private spaces, screen views and/or increase privacy.

Design Requirement: The design intent is for all materials and execution of fences/walls to match the construction of the home and seem as an extension of the home. *Chain-link, aluminum, vinyl/PVC, and wrought iron fencing is not permitted.*

Fencing on the lake side or street side of the house will not be permitted, unless such fence is 1) a small area attached to the side of the house, made from materials matching the house or constructed as a stone wall; or 2) created to make a small courtyard; and 3) only as deemed appropriate by the ARC on a case-by-case basis.

Fencing for pet containment may be an underground electric system; it shall be the Owner’s responsibility to ensure pet stays contained on the property.

Fences shall be limited to 48 inches in height.

Any exterior equipment such as air conditioners, generators, pool equipment, etc. must be screened.

\*Note: All fencing/walls/screens must be submitted in a request with a site plan showing the location, extent, and details of the proposed fence/wall to the ARC and formally approved by the ARC prior to any work commencing.

## Examples of recommended fences, gates, walls, and screens





## Outdoor Firepits and Fireplaces

Firepits are to be located in areas where they minimize nuisance smoke to adjoining streets and homesites and do not present a fire hazard to surrounding landscape.

Masonry built fireplaces/firepits shall be constructed from materials matching the house or use natural materials such as stone.

Stand-alone firepits are acceptable but shall be submitted in a request with details/pictures. *“DIY” firepit kits are not acceptable.*

*\*Provide details and drawings for specific fireplace/firepit with submittal to ARC.*

## Exterior Lighting

Path lights are to be minimized but may be used to illuminate certain areas for nighttime use when integrated with landscape planting.

Lighting should be kept to a minimum to control the spread of light noise/pollution to preserve the integrity of night viewing. This includes, but is not limited to, pathway, porch, and dock lighting. *Use of a photocell for dusk to dawn operation of lights shall be prohibited. Floodlighting shall also be prohibited.*

*\*Provide cut sheets of all fixtures with fixture location plan with submittal to ARC.*

## Water Features, Pools, and Fountains

Water features shall be designed to complement the architectural aesthetics of the residence and incorporated seamlessly into the site outdoor areas and landscape. Consideration shall be given to appropriate scale and visual connections.

Local and indigenous materials are encouraged to be incorporated; such as natural stone, cut stone, and brick.

*Above-ground pools are prohibited. Slides are prohibited. Infinity pools are allowed.*

Pool and pool barriers must adhere to all local codes and local/state regulations.

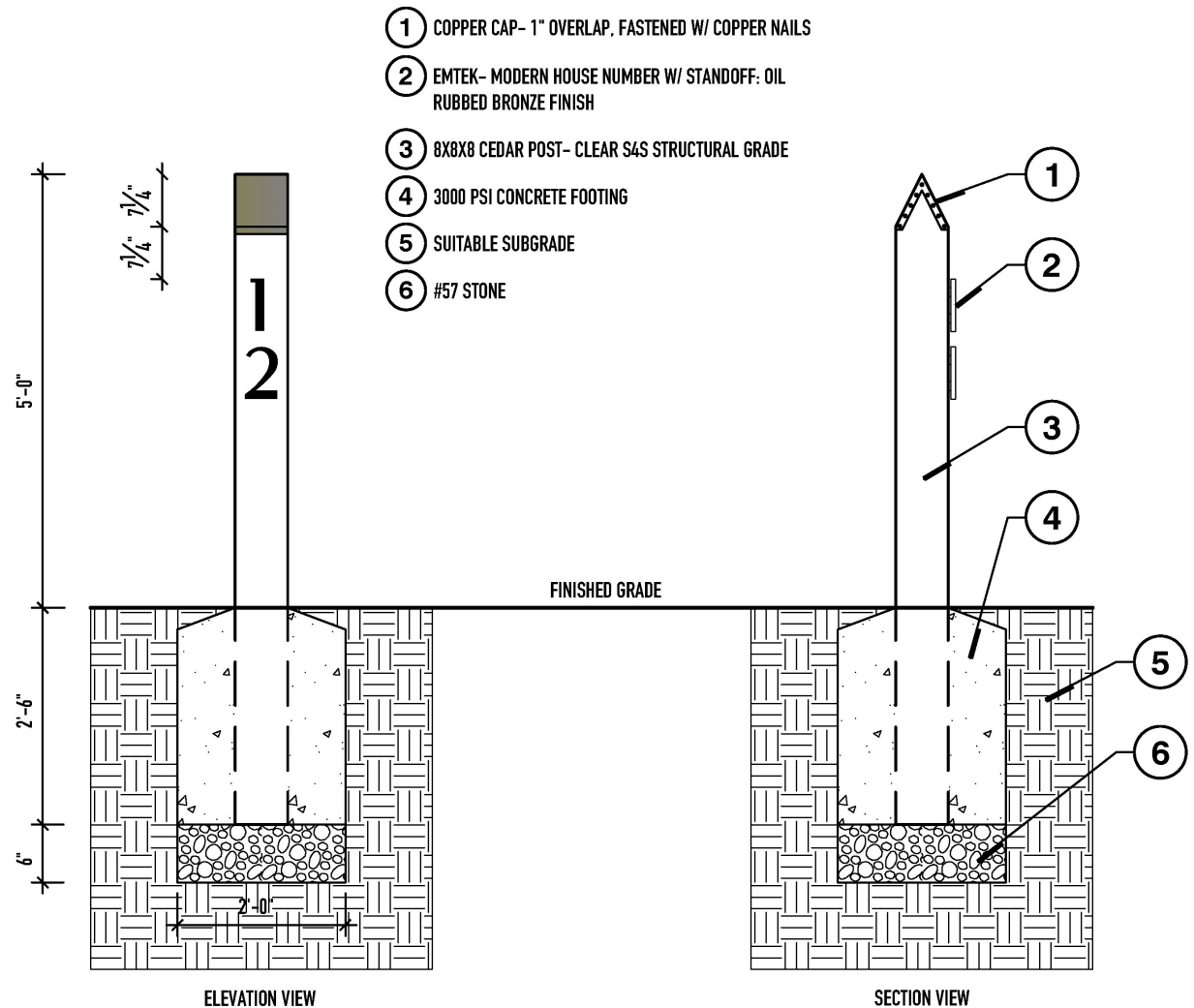
*\*Provide details and drawings for specific pool, fountain, or water feature with submittal to ARC.*

## Address Markers

Property Owner shall be responsible for the installation of the Address Marker. The design included on this page is pre-approved and encouraged for use for uniformity.

Address marker shall be located five (5) feet from edge of the roadway paving and five (5) feet to the right/left of driveway paving to be determined upon layout of proposed driveway and adjacent property line/driveway.

Address markers may be illuminated with fully shielded accent lighting.



# Section 4

## Design Review and Approval



# Purpose and Restrictions

## Purpose

LakeTown and its design team created the Archers Point Design Standards to provide minimum requirements and expectations as it pertains to design and construction within the Archers Point development. All property owners and their designers shall follow the regulations set forth in these Design Standards for all improvements upon their respective property.

LakeTown and its Architectural Review Committee (ARC) reserves the right to review and approve all designs within the Archers Point development. Approval for all designs must be obtained from the ARC prior to site clearing and/or construction commencing.

## Restrictions

No site clearing, material deliveries, staging, demolition, or construction may begin without first obtaining approval from the ARC, signing and returning the Design/ Construction Fee Schedule form, signing and returning the Design Review and Submittal Process form, and completing any other preconstruction requirements as may be made mandatory by these Design Standards.

If in any event site clearing, material deliveries, staging, demolition, or construction begins prior to completing the steps above, LakeTown and the ARC reserves the right to halt all such activities, including ordering the removal of any materials brought to the site at the owner's expense.

If construction has not commenced within twelve (12) months of initial ARC approval, or has not been completed within eighteen (18) months after commencement of construction, a resubmittal to the ARC will be required. Additional fees and/or fines may apply.



# Architectural Review Committee

Control over architectural design, landscape design, and all general construction is effected through the Architectural Review Committee (ARC), a permanent committee of the Archers Point Owners' Association. The ARC shall administer and perform all architectural and landscape review and control functions on behalf of the Archers Point Owners' Association.

All lot owners are required to obtain the approval of the ARC for all new construction, renovation construction, and any alterations to the landscaping and vegetation on their respective property. The approval of the ARC is limited to the relationship of exterior site and architectural design elements, and is not meant to be required for interior improvements of a home or structure that would not otherwise be visible outside of the home or structure.

The ARC shall exercise control to:

Oversee a harmonious development of Archers Point.

Preserve and enhance the natural beauty of Archers Point properties.

Assist lot owners and their designers by reviewing their design efforts within the applicable rules of the Archers Point Owners' Association and these Design Standards.

The ARC has adopted these Design Standards to serve as a guide for the review and control process. While the ARC encourages creativity within the context of the requirements of the Design Standards, it is important to note that the ARC reserves the right to disapprove any design based solely on aesthetic grounds. It is also important to note that the ARC process neither replaces nor negates other permits as may be required by law.

The ARC has 45 days to complete the ARC review. Incomplete submittal packages will not be reviewed until they are complete.

**Design/Construction Fee Schedule is as follows:**

<b>Design Review Fee</b>	<b>\$750</b>
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Payable upon submittal of Schematic Design documents for review. This fee covers review of the house and dock/  
boathouse if all is included in a single submittal package.

<b>Pre-approved Design Review Fee</b>	<b>\$750</b>
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Payable upon submittal of Pre-approved Home Design documents for review. Even though the home design is pre-approved, this fee is necessary to cover ARC review and discussion time with the Owner and/or Builder since there is no Architect involved to ensure the home is properly designed for its particular lot. It is assumed that minimal changes to the pre-approved design will be required, which will also be discussed to ensure proper execution. This fee also covers review of the house and dock/boathouse if all is included in a single submittal package.

**Landscape/Hardscape** **\$250**

Payable upon submittal of Schematic Design documents for review.

**Dock/Boathouse** **\$250**

To be paid only if dock/boathouse is not part of the Schematic Design documents for review (i.e. is submitted independently of the house).

Minor Change Request	\$150
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To be accompanied by the Minor Change Application Form as included in the Design Standards.

Major Change Request	\$500
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This fee applies if the design of the house changes substantially after having already been reviewed by the Architectural Review Committee and requires a restart of the review process. It also applies if the submitted design(s) still requires a resubmittal after the Construction Drawing review because the Architect or Designer failed to provide a suitable design solution, which results in excessive time for reviews and communication by the Architectural Review Committee.

*\*Note: the above fees do not include any fees related to obtaining permits for construction of the house or dock/house, as may be required by local jurisdictions. The above fees solely pertain to fees associated with design reviews by LakeTown and the Architectural Review Committee.*

*As the lot owner/purchaser, I have read and agree with the above policies.*

PRINTED NAME: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

## **The Design Review and Submittal Process shall be as follows:**

### **Step One:**

Upon or prior to purchasing a lot, the Purchaser/Owner shall contact the HOA to be given a current copy of the Archers Point Design Standards, including any amendments, and to be instructed on how to access the ARC submittal portal.

### **Step Two:**

Prior to any design work being performed, Owner shall acknowledge acceptance of the above documents by signing this page and by signing the Fee Schedule page, uploading said signed pages to the ARC submittal portal.

### **Step Three:**

The Owner shall submit their proposed Architect to the Architectural Review Committee for review and approval for such Architect to perform work in Archers Point. To streamline the approval process, it is strongly recommended that a digital portfolio or images of their work be provided as supplemental material.

### **Step Four:**

Upon approval of the proposed Architect, a pre-design teleconference call will be scheduled with the Owner, their Architect, and a representative(s) of the Architectural Review Committee. The purpose of the meeting is to address any questions that the Owner or their Architect/Designer might have prior to beginning design, as well as for the Architectural Review Committee representative(s) to give a high-level overview of the Design Standards. At this stage, the Architect should be able to communicate the preliminarily planned architectural style for the house, which will be part of the discussion.

### **Step Five:**

Schematic Design Review - this is the first step in the design submittal process, and is intended to allow the Architectural Review Committee to provide input during this key stage of design. See the Design Standards for more information regarding the submittal requirements, as well as the Form A "Schematic Design Review" application. It is at this time that a non-refundable Design Review Fee will be required as per the Fee Schedule.

### **Step Six:**

Construction Drawing Review - following approval of the Schematic Design Review submittal, and after addressing all such review comments, final construction drawings shall be submitted for review/approval, as well as the Form B "Construction Drawing Review" application. These drawings must be approved by the Architectural Review Committee prior to starting construction.

### **Step Seven:**

Record Drawings - submit final record set of drawings that incorporate ARC redlines from the Construction Drawing Review.

### **Step Eight:**

Site Reviews - the Architectural Review Committee will make periodic site visits to observe construction at Archers Point, and will point out deficiencies or unapproved changes to the Owner and/or Architect so that such deficiencies or unapproved changes can be addressed and corrected.

*As the lot owner/purchaser, I have read and agree with the above policies.*

PRINTED NAME: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

### **Modifications During Construction:**

During construction, or after your final construction drawings were approved, you may decide to make improvements or modifications to the approved design or to existing construction. All such improvements or modifications require approval by the ARC prior to execution.

Examples of a minor change might include, among other possibilities, changes to paint colors, roofing color/type, entrance door design, porch or deck railing design, or revisions to a small number of windows.

A request for approval for improvements or modifications shall be submitted to the ARC along with Form C: Minor Change Application. No such work shall occur until the ARC has issued written notice of approval for the proposed work.

If significant changes are proposed, please contact the ARC to determine the best course of action for a submittal or resubmittal.

## **Form A: Schematic Design Review**

Lot Number: \_\_\_\_\_

Lot Acreage: \_\_\_\_\_

**Owner(s):** \_\_\_\_\_

Telephone Number: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Email Address: \_\_\_\_\_

**Architect/Designer:** \_\_\_\_\_

Telephone Number: \_\_\_\_\_

Email Address: \_\_\_\_\_

**Landscape Architect/Designer:** \_\_\_\_\_

Telephone Number: \_\_\_\_\_

Email Address: \_\_\_\_\_

**Builder (if selected):** \_\_\_\_\_

Telephone Number: \_\_\_\_\_

Email Address: \_\_\_\_\_

Submit the following drawings, at a minimum, with all sheets combined into a single pdf file.

*Note: house drawings may be submitted as hand-drawn concept sketches for this submittal.*

- Certified Topographic Survey showing all boundary lines.
- Site Plan at a minimum scale of  $1/16" = 1'$ .
- Floorplan(s) at a minimum scale of  $1/4" = 1'$ .
- Exterior Elevations at a minimum scale of  $1/4" = 1'$ .
- Square Footage estimate.

**Form B: Construction Drawing Review** (page 1 of 2)

Lot Number: \_\_\_\_\_

Lot Acreage: \_\_\_\_\_

**Owner(s):** \_\_\_\_\_

Telephone Number: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Email Address: \_\_\_\_\_

**Architect/Designer:** \_\_\_\_\_

Telephone Number: \_\_\_\_\_

Email Address: \_\_\_\_\_

**Landscape Architect/Designer:** \_\_\_\_\_

Telephone Number: \_\_\_\_\_

Email Address: \_\_\_\_\_

**Builder (if selected):** \_\_\_\_\_

Telephone Number: \_\_\_\_\_

Email Address: \_\_\_\_\_

Submit the following drawings, at a minimum, with all sheets combined into a single pdf file.

*Note: be sure to obtain ARC approval for these drawings before sending out for final bidding and for construction.*

- Certified Topographic Survey showing all boundary lines.
- Site Plan at a minimum scale of  $1/16" = 1'$ , with clearing limits identified.
- Floorplan(s) at a minimum scale of  $1/4" = 1'$ .
- Roof Plan at a minimum scale of  $1/8" = 1'$ .
- Exterior Elevations at a minimum scale of  $1/4" = 1'$ .
- Foundation Plan at a minimum scale of  $1/4" = 1'$ .
- Lighting Plan(s) to include all exterior lighting.
- Detailed drawings (with material data) as needed to specify windows, doors, siding, stone, roofing, eaves, gutters, trim, etc. All proposed exterior colors shall be included.
- Landscape/Hardscape Plan at a minimum scale of  $1" = 10'$ .
- Dock/Boathouse drawings, including plan, elevations, and placement on shoreline. Include seawall if applicable.
- Square Footage data (heated/cooled and unheated/uncooled areas listed separately).



**Form B: Construction Drawing Review** (page 2 of 2)

Lot Number: \_\_\_\_\_

Total Heated/Cooled Area: \_\_\_\_\_ Total Unheated/Uncooled Area: \_\_\_\_\_

Application	Color/Finish	Material Description
Driveway	_____	_____
Entry walk	_____	_____
Foundation	_____	_____
Watertable	_____	_____
Siding	_____	_____
Corner Boards	_____	_____
Window/Door Trim	_____	_____
Rafter Tails	_____	_____
Soffit/Eaves	_____	_____
Porch Floor	_____	_____
Porch Ceiling	_____	_____
Doors	_____	_____
Windows	_____	_____
Roofing	_____	_____
Gutters	_____	_____
Chimney	_____	_____
Misc.	_____	_____

### **Form C: Minor Change Application**

Lot Number: \_\_\_\_\_

**Owner(s):** \_\_\_\_\_

Telephone Number: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Email Address: \_\_\_\_\_

**Architect/Designer:** \_\_\_\_\_

Telephone Number: \_\_\_\_\_

Email Address: \_\_\_\_\_

**Landscape Architect/Designer:** \_\_\_\_\_

Telephone Number: \_\_\_\_\_

Email Address: \_\_\_\_\_

**Builder (if selected):** \_\_\_\_\_

Telephone Number: \_\_\_\_\_

Email Address: \_\_\_\_\_

Description of Proposed Change.

*Please use the lines below to briefly describe all proposed improvements or changes to your lot or home. Attach sketches, drawings, photographs, or other data as needed to illustrate the proposed improvements or changes.*

*Note: a fee amount of \$150 shall be sent to the Archers Point HOA when submitting for this Minor Change Application.*

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